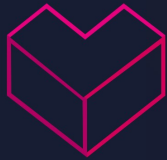


LOVE LIVING



45 Balls Pond Road, London, N1 4BW
Offers in excess of £1,000,000





45 Balls Pond Road

London, N1 4BW

- Three storey Georgian house
- Four double bedrooms
- Excellent transport links
- South facing garden
- Two en-suite bathrooms

The Home -

This grand Georgian three storey period house offers a unique layout that combines historical charm with modern convenience. The abundant natural light enhances every corner of the property. Stylish bathrooms offer both comfort and aesthetics, and the updated kitchen seamlessly merges contemporary style with functionality. The location is a major perk, with proximity to the Union Canal, nearby parks, and a variety of trendy bars and dining options. For commuters, two overland stations are within easy reach, and Liverpool Street is just a 20-minute bike ride away. This inviting home provides a beautiful balance of comfort, style, and convenience, making it a perfect choice for those seeking a cozy yet modern living experience in the heart of a vibrant area.



Offers in excess of £1,000,000



The Indoors

Upon entering this property on Balls Pond Road, you step into a welcoming hallway that seamlessly guides you through the home. Immediately to the left, the main reception room unfolds. This space is carpeted for comfort, featuring traditional lightly tinted walls that radiate natural light, which pours in through beautiful arched sash windows. The airy ambiance makes it the perfect setting for a cozy living area, with ample space for a sofa and a TV. Just beyond the main reception is the second reception room, which exudes a similar inviting feel. Also carpeted, this space can easily function as a formal dining room or a casual lounge. The sash window continues to bring in generous natural light, ensuring the room feels warm and welcoming throughout the day.

The sleek kitchen is situated down the stairs on the ground floor, it offers effortless access to the third reception area, which can also be used as a dining space. The kitchen is tiled throughout, enhancing a contemporary feel with a stylish backsplash above the countertops, adding a touch of elegance. Optimal storage ensures a clutter-free cooking experience. Glazed doors opens onto the garden, flooding the room with natural light. Additional light streams through a sash window over the sink, creating a vibrant and lively space. The third reception room's laminate flooring contrasts with the kitchen's tiling, establishing a sense of separation while maintaining the flow. This room is ideal for entertaining, whether hosting a dinner party or enjoying a relaxed meal.

As you ascend the main staircase, you'll find the first two bedrooms along with two well-appointed bathrooms. The main bathroom, located on the way to the first floor, offers a bathtub, stylish tiled backdrop, and sleek fixtures. It includes a heated towel rack for added comfort. The adjacent second bathroom mirrors this aesthetic, also featuring a bathtub and current fittings.

At the top of the staircase, the first bedroom greets you with ample space for a double bed and a fitted wardrobe. Fully carpeted, the room enjoys plenty of natural light from two nearly floor to ceiling sash windows. The ensuite bathroom includes a modern walk-in shower, seamlessly blending functionality and style. Next to this, the second bedroom similarly offers a cosy yet bright space, perfect for a double bed and additional wardrobe storage.

Continuing up to the top floor, you'll find the third and fourth bedrooms. The third bedroom mirrors the first, complete with its own ensuite and walk-in shower. It provides the same generous space and carpeted comfort, while the fourth bedroom follows the layout of the second bedroom, offering room for a double bed and ample wardrobe space. These bedrooms maintain a cohesive, inviting feel that runs throughout the home.

The Outdoors

The pebbled garden area is a versatile space perfect for relaxing in the fresh air or hosting intimate gatherings. Whether enjoying a morning coffee, reading a book, or entertaining friends with a glass of wine, this serene outdoor retreat offers a peaceful escape.

Loving The Location

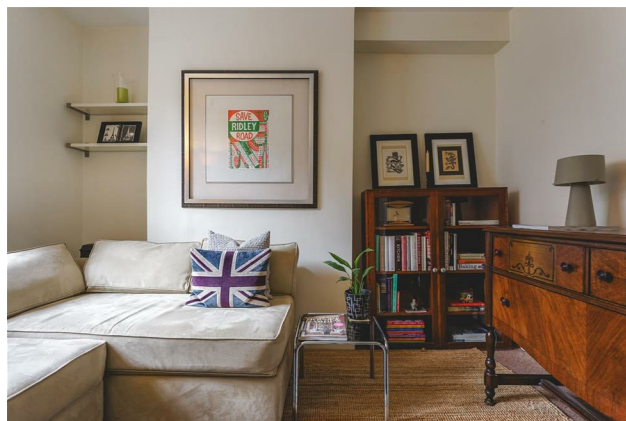
The home is situated perfectly between Dalston, Islington, De-Bauvoir and Newington Green. Close by is the entrance to Ridley Road market, considered by many to be the beating heart of Dalston's community. It has run every Monday to Saturday since the 1880s and includes over 150 stalls, offering fresh produce from around the



world. Dalston has an eclectic range of bars, restaurants, cafes and lifestyle including Oren, Popo's Bagels, Brilliant Corners, Mangal II and many excellent pubs including the Hunter S and The Duke of Wellington.

Newington Green is a short walk away, at the heart of which is a four-way junction where Stoke Newington, Canonbury, Dalston and Green Lanes meet. Residents love Newington Green because of the close community and village atmosphere. Plenty of tree-lined residential streets just off the main thoroughfare lead to a plethora of fantastic cafes, bars and restaurants, some of the highlights include the ever popular Jolene, Yield wine bar and the lady Mildmay pub. If you like to eat, drink and be merry, you're in for a treat here, it's approach road are sprinkled with bustling cafes, lively, dog-friendly pubs, and popular independent shops. The north-east London postcodes are high in demand and is awash with creativity, boutique shops and the latest restaurants.

Dalston Junction and Kingsland stations are both a short walk away, providing transport links on the east/west and south-bound branches of the London Overground. Nearby Hackney Downs station provides links to Liverpool Street in less than ten minutes. Buses run regularly to London Bridge and the City from nearby Kingsland Road and to the West End from Balls Pond Road.





Floor Plans



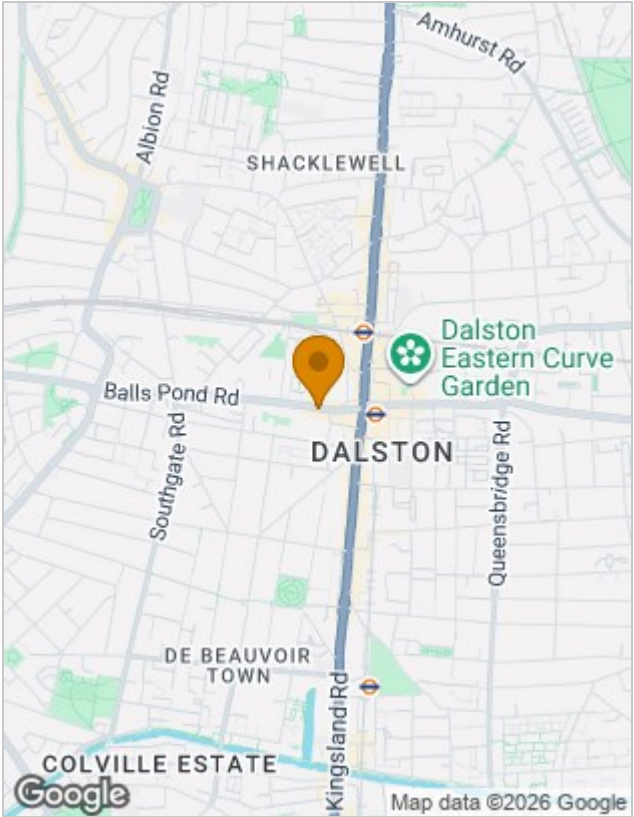
Viewing

Please contact our Love Living Office on 0203 005 2600 if you wish to arrange a viewing appointment for this property or require further information.

The particulars are set out as a general outline only for the guidance of intended purchasers or lessees, and do not constitute, any part of a contract. Nothing in these particulars shall be deemed to be a statement that the property is in good structural condition or otherwise nor that any of the services, appliances, equipment or facilities are in good working order. Purchasers should satisfy themselves of this prior to purchasing.

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Location Map



Energy Performance Graph

